

Application Recommended for Approval

APP/2018/0183

Rosegrove with Lowerhouse Ward

Full Planning Application

Proposed side extension (to extend the existing garage and create a 1st floor above)
44 GROVESIDE PARK, BURNLEY

Background:

An objection has been received.

Relevant Policies:

Burnley Local Plan Second Review

GP1 - Development within the Urban Boundary

GP3 - Design and Quality

H13 - Extensions and conversion of existing single dwellings

TM15 - Car parking standards

Emerging Local Plan

HS5 – House Extensions and Alterations

IC3 – Car Parking Standards

SP1 – Achieving Sustainable Development

SP4 - Development Strategy

SP5 – Development Quality and Sustainability

Site History:

None since the housing estate was built.

Consultation Responses:

Highway Authority – Initial comments were that three off-street parking spaces were required; however further comments stated that 2 off-street parking spaces would be acceptable therefore an extra off-street parking space would be required. Following the submission of an amended plan the Highway Authority has no objections subject to a condition stating that the additional hardstanding is surfaced with a bound and porous material.

A neighbour – Objects to the proposed extension for the following reasons;

- The drawings don't show the effect the proposed extension will have on our property, for example, how near the rear extension will be built in relation to the dividing fence and no provision has been mentioned for any of the guttering or the rear drain.
- Due to the fact that that we haven't been provided with enough written information and detailed drawings by the applicant we are unable to make an informed decision as to how the proposed extension will impact our property and therefore feel that we have to object to the proposed side extension on the grounds that it will be overbearing and our property will feel hemmed in, especially at the rear where our neighbours property projects further forwards than ours.

Planning and Environmental Considerations:

The property is located within a modern housing estate and is semi-detached (also adjoined to the property at the other side by way of a garage). The proposal involves the enlargement of the existing garage (which is adjoined to the neighbour's garage) and the erection of a 1st floor extension above. The extension will provide additional accommodation comprising of an enlarged garage with a bedroom and en-suite above.

The main considerations are design/materials, privacy/outlook and highway issues.



Design/materials

The existing garage is to be extended back by 1.65m on line with the rear elevation and a first floor extension erected above; following discussions with the applicant it was agreed that the first floor would be set back from the front elevation by 1m (see drawings below); in order that the extension is subservient to the existing dwelling and to create the appearance more space around the dwelling.

There is a garage door with a window above (bedroom) proposed on the front elevation and a door with a window (garage) on the ground floor and two windows (en-suite and bedroom) above on the rear elevation there are no windows proposed on the side elevation. The proposed materials are artificial stone and blue slates to match the existing dwelling. The ridge of the roof is at a lower level than the existing roof ridge.

Following the agreement to set the 1st floor of the extension back by 1m the proposals are now considered to be acceptable in terms of design and materials.



Privacy/outlook/daylight

There are no windows proposed on the side elevation of the extension and there are no windows on the existing side elevation of no. 42 Groveside Park; privacy/outlook is not therefore an issue in terms of the side elevation. There are no houses directly to the front or rear of the dwelling.

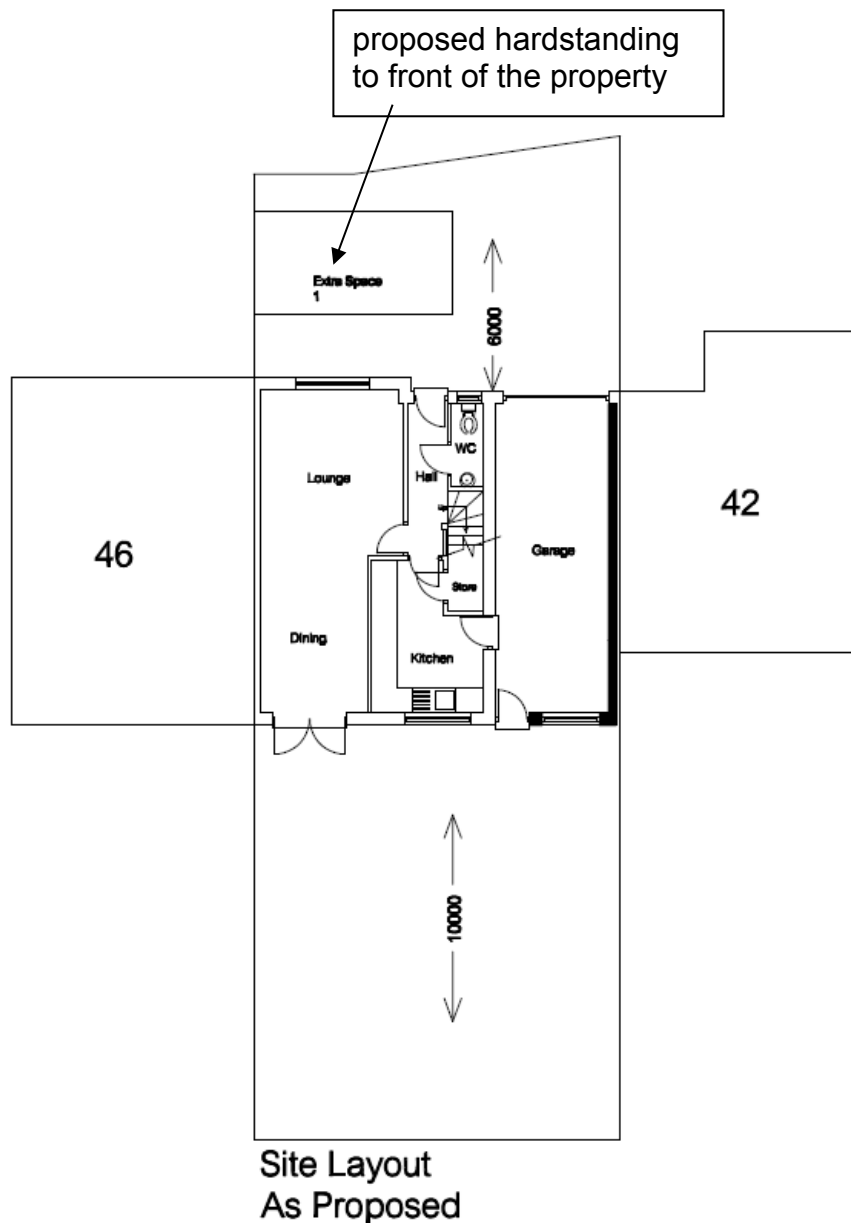
The 2-storey extension will extend back on line with the existing rear elevation of the dwelling, which extends further out than the rear of no. 42 by 1.75m; no. 42 Groveside Park has a garage (single-storey) adjoining the existing garage at no.44 therefore the window closest to the rear extension is not classed as a habitable room and outlook/daylight are not therefore an issue with regards rear windows at no.42.

Conclusion

Following the receipt of an amended plan showing the extension set back by 1m at first floor level and the provision of extension of the hardstanding area at the front of the property (off-street parking space), the proposals are considered to be acceptable and in accordance with the Local Plan policies listed above.

Highway issues

The proposal increases the number of bedrooms from three to four; three off-road parking spaces are normally required for a four bedroomed dwelling. The garage counts as one off-road space; following further assessment by the Highway Authority they agreed that one further off-street parking space would be acceptable as shown on the plan below (an extension of the existing hardstanding would need to be created).



Recommendation:

Grant subject to the following conditions:

Conditions:

1. The development must be begun within three years of the date of this decision.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: Location plan received 13 April 18, drawing No: 2018/0052/0001 REV D received 18 June 18.
3. The additional hardstanding area (for off-street parking) shall be completed prior to the occupation of the extension and shall be surfaced with a bound and porous material.

Reasons:

1. Required to be imposed by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. To ensure the development is implemented in accordance with the approved plans and to avoid ambiguity.
3. In the interests of highway safety and in accordance with policies H13 and TM15 of the Burnley Local Plan Second Review and policies HS5 and IC3 of the emerging Local Plan.